

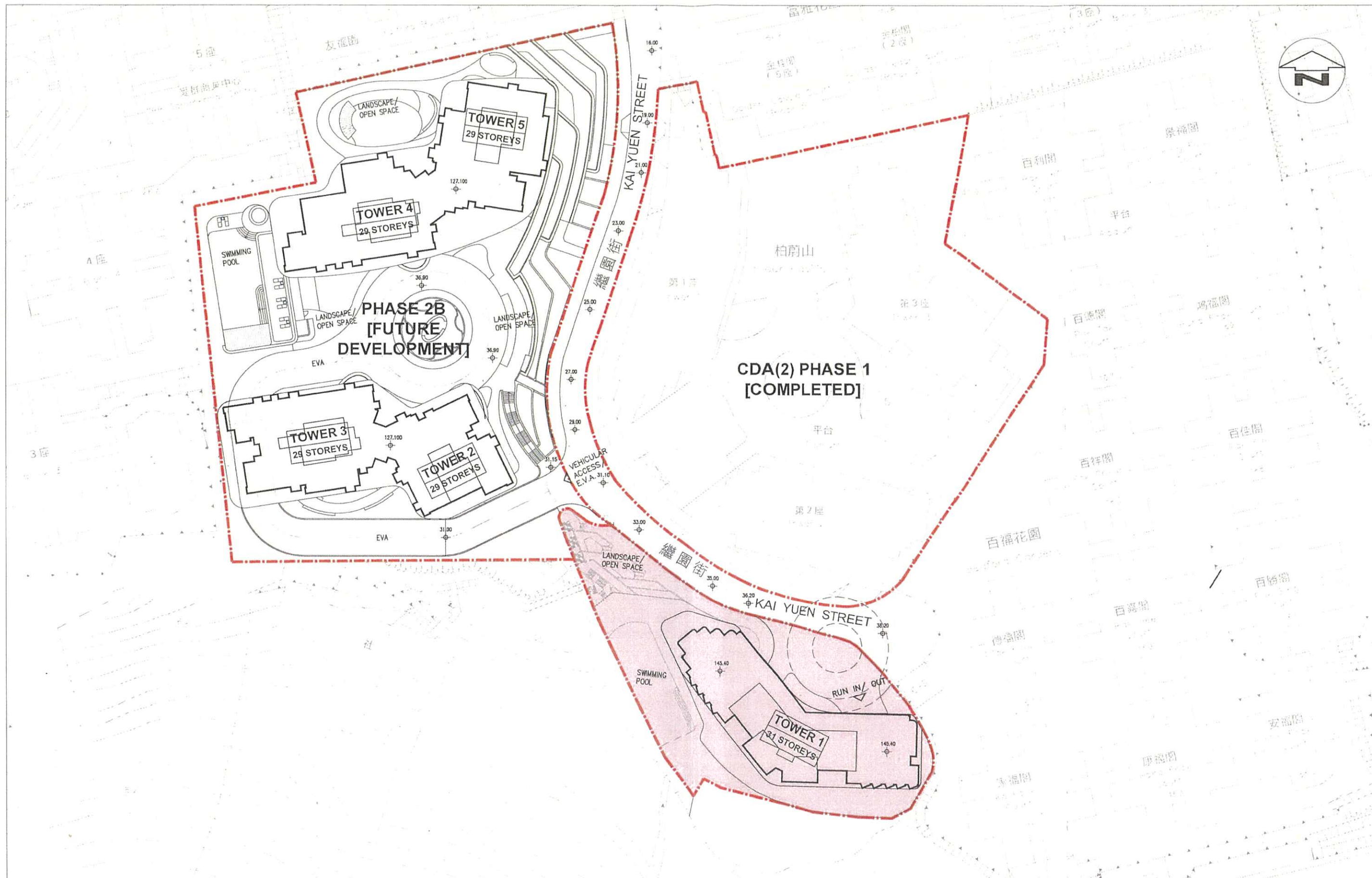
LEGEND: PHASE 2A DEVELOPMENT SITE BOUNDARY

**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

PROJECT NO : K077
DRAWING TITLE : LOCATION PLAN
DRAWING NO. : K077/CDA/001
SCALE : 1 : 1000
REV : 0

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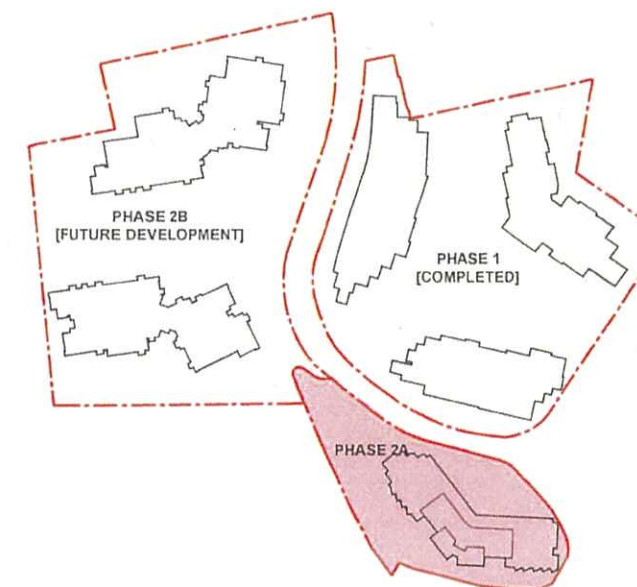
LEGEND: PHASE 2A DEVELOPMENT SITE BOUNDARY

**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

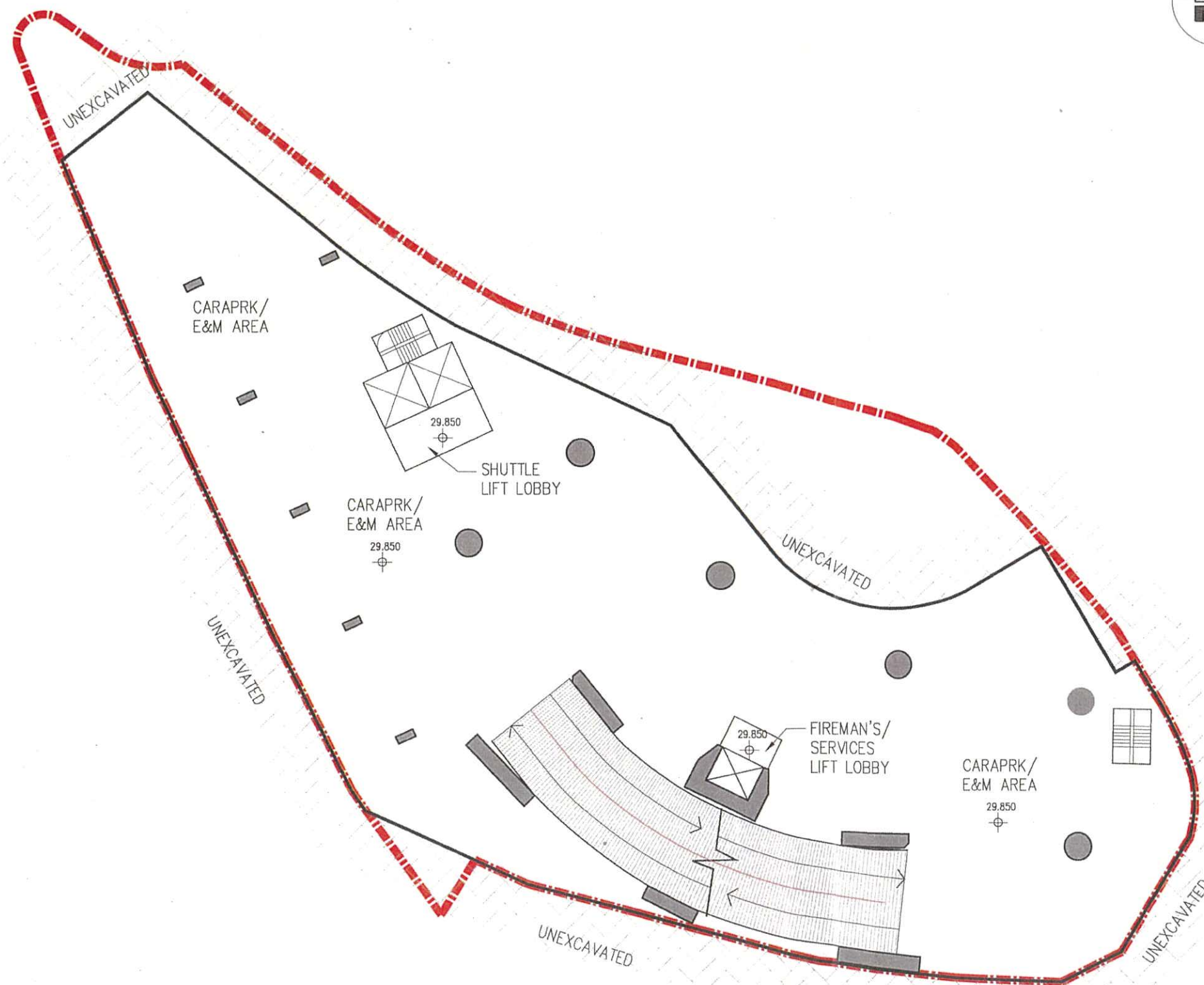
PROJECT NO : K077
DRAWING TITLE : MASTER LAYOUT PLAN
DRAWING NO. : K077/CDA/002
SCALE : 1 : 700
REV : 25 APRIL 2022

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KEY PLAN
SCALE 1 : 2000



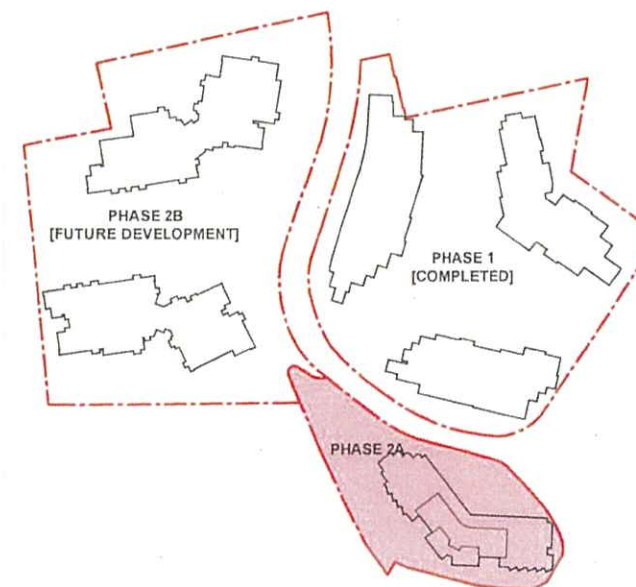
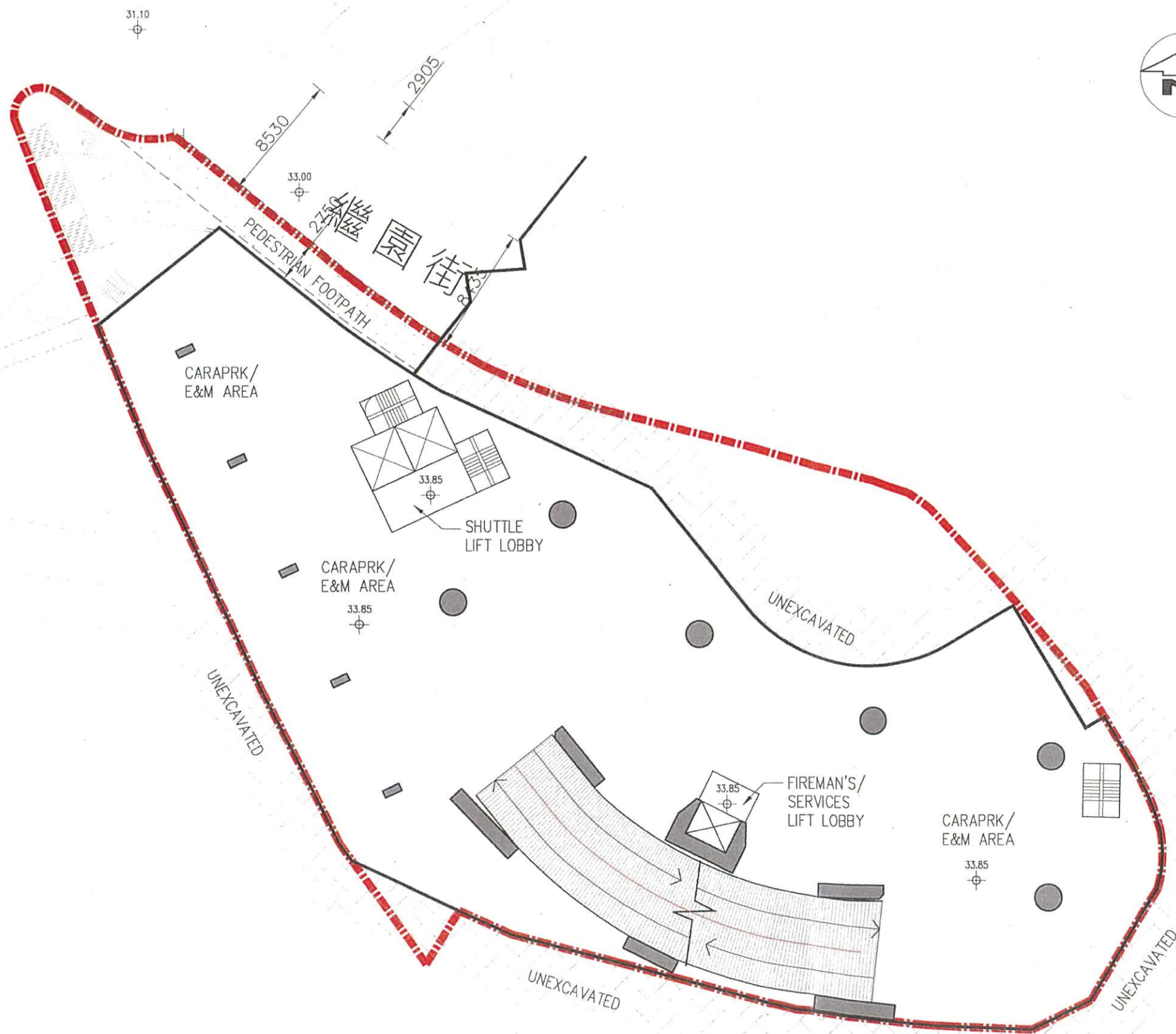
CARPARK PROVISION:
PRIVATE CARPARK = 44 no.
MOTOR CYCLE = 3 nos.

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**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

PROJECT NO : K077
DRAWING TITLE : BASEMENT 2 FLOOR PLAN
DRAWING NO. : K077/CDA/005
SCALE : 1 : 300
REV : A (21 MAY 21)



KEY PLAN
SCALE 1 : 2000

LEGEND:  DEDICATION AREA FOR PEDESTRIAN FOOTPATH (2750 WIDTH) [208 sq.m. (ABOUT)]

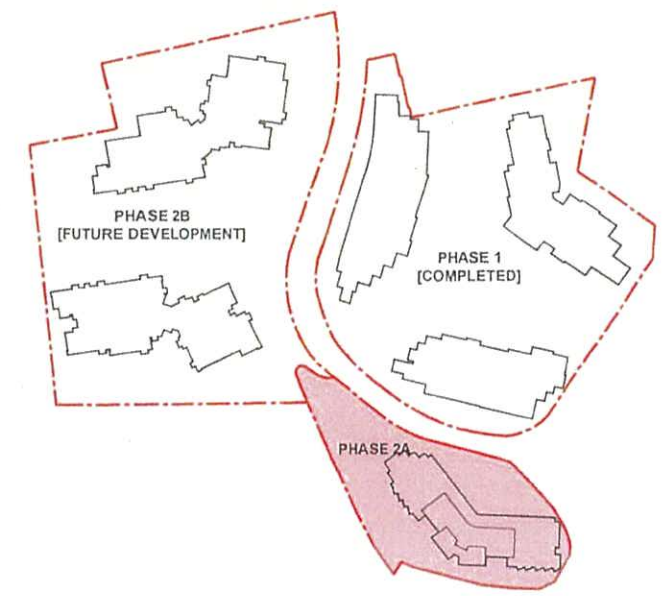
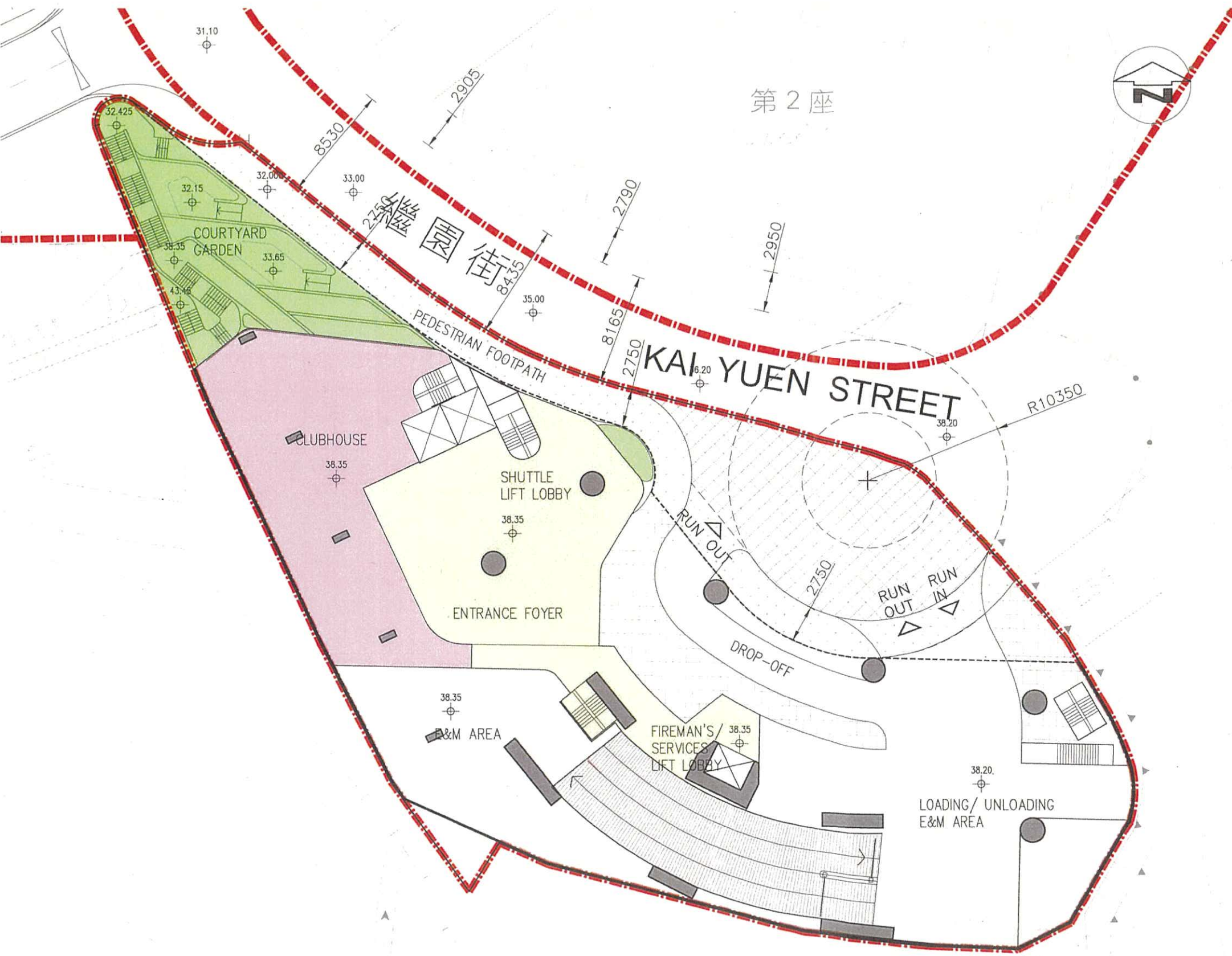
**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

PROJECT NO : K077
DRAWING TITLE : BASEMENT 1 FLOOR PLAN
DRAWING NO. : K077/CDA/004
SCALE : 1 : 300
REV : A (21 MAY 21)

CARPARK PROVISION:
PRIVATE CARPARK = 32 nos.
VISITOR'S CARPARK = 5 nos.
MOTOR CYCLE = 3 nos.

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KEY PLAN
SCALE 1 : 2000

- LEGEND:
- DEDICATION AREA FOR PEDESTRIAN FOOTPATH (2750 WIDTH) [208 sq.m. (ABOUT)]
 - SURRENDER AREA FOR TURN AROUND [219 sq.m. (ABOUT)]
 - WALKWAY INSIDE DEVELOPMENT

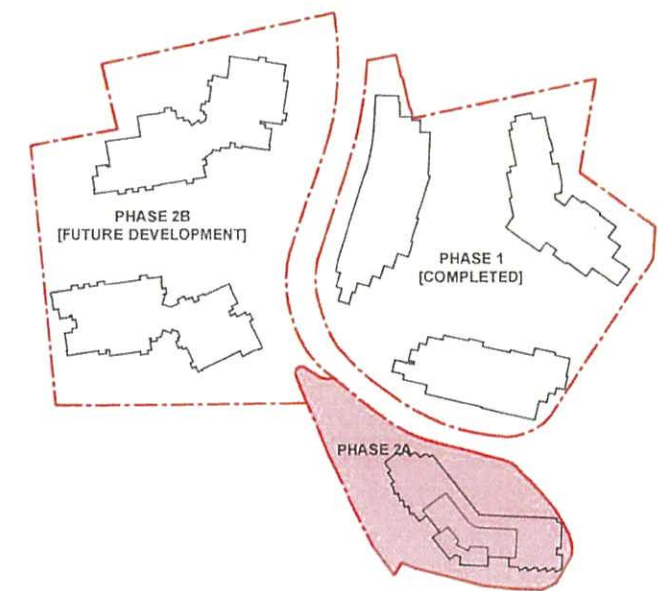
CARPARK PROVISION:
LOADING/ UNLOADING = 1 no.
DROP-OFF/ LAY-BY = 2 nos.

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**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

PROJECT NO : K077
DRAWING TITLE : GROUND FLOOR LAYOUT PLAN
DRAWING NO. : K077/CDA/003
SCALE : 1 : 300
REV : A (21 MAY 21)

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PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]

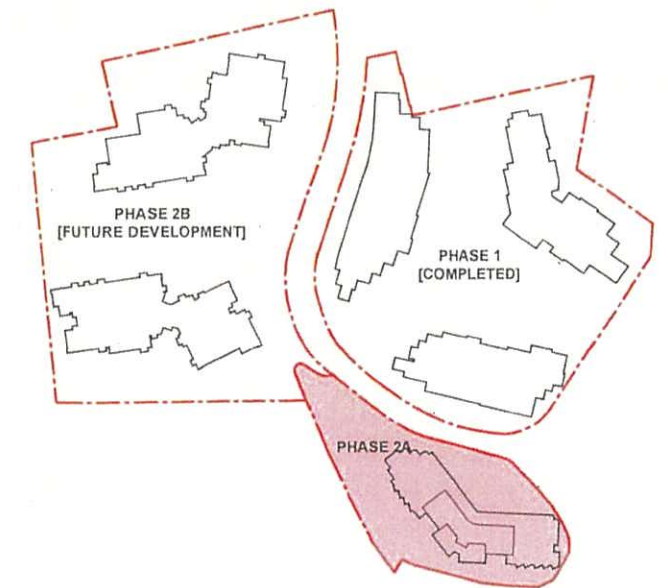
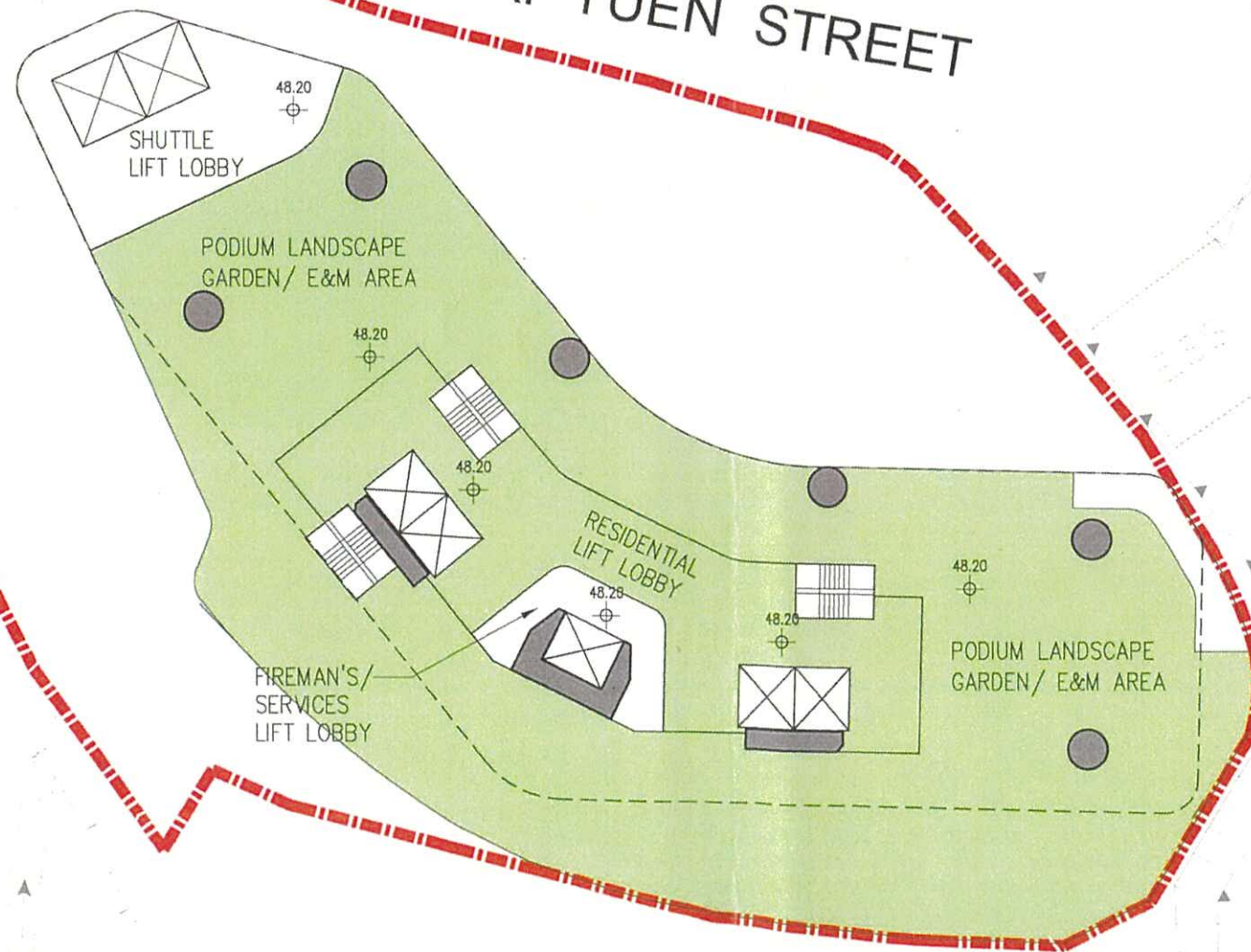
PROJECT NO : K077
DRAWING TITLE : PODIUM LEVEL 1 FLOOR PLAN
DRAWING NO. : K077/CDA/006
SCALE : 1 : 300
REV : 0

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第 2 座

繼園街

KAI YUEN STREET



KEY PLAN
SCALE 1 : 2000

PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]

PROJECT NO : K077
DRAWING TITLE : PODIUM LEVEL 2 FLOOR PLAN
DRAWING NO. : K077/CDA/007
SCALE : 1 : 300
REV : 0

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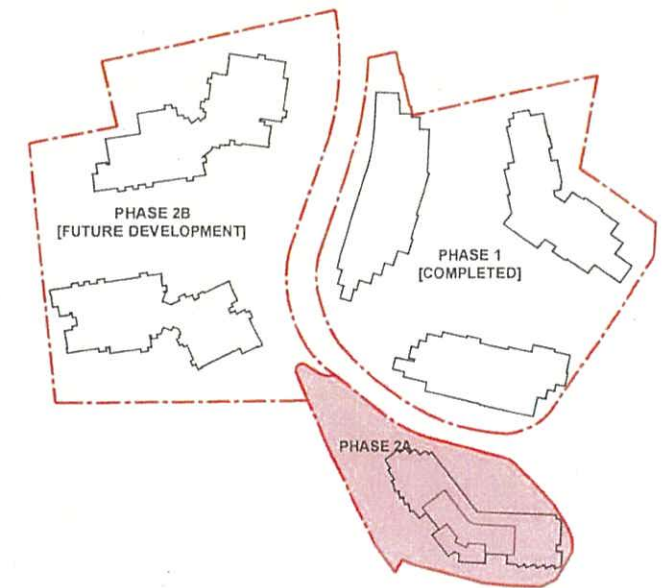
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第 2 座



繼園街

KAI YUEN STREET



KEY PLAN
SCALE 1 : 2000

PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]

PROJECT NO : K077
DRAWING TITLE : TYPICAL FLOOR PLAN (1ST TO 16TH)
DRAWING NO. : K077/CDA/008
SCALE : 1 : 300
REV : 0

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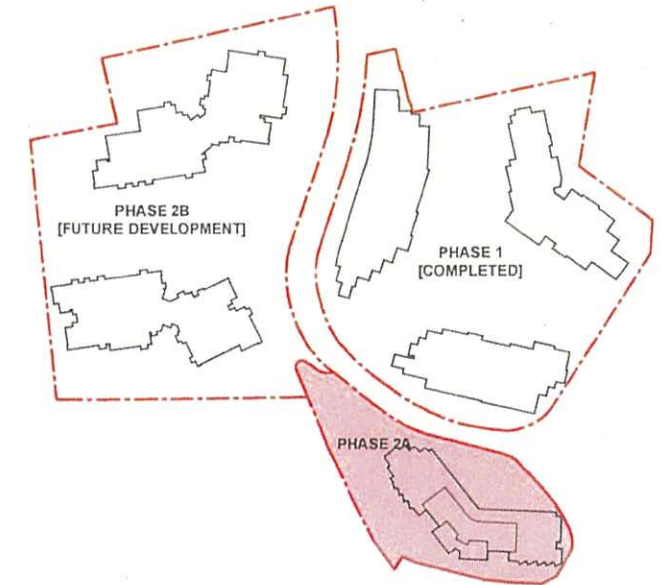
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第 2 座



繼園街

KAI YUEN STREET



KEY PLAN
SCALE 1.: 2000

PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]

PROJECT NO : K077
DRAWING TITLE : TYPICAL FLOOR PLAN (17TH TO 26TH)
DRAWING NO. : K077/CDA/009
SCALE : 1 : 300
REV : 0

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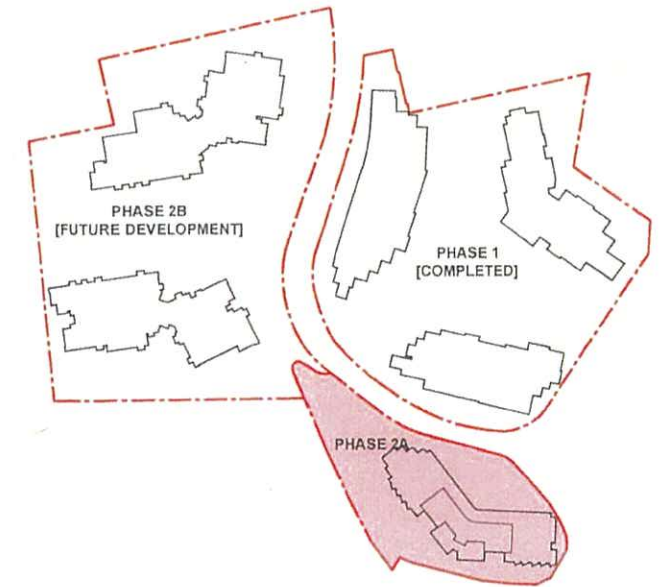
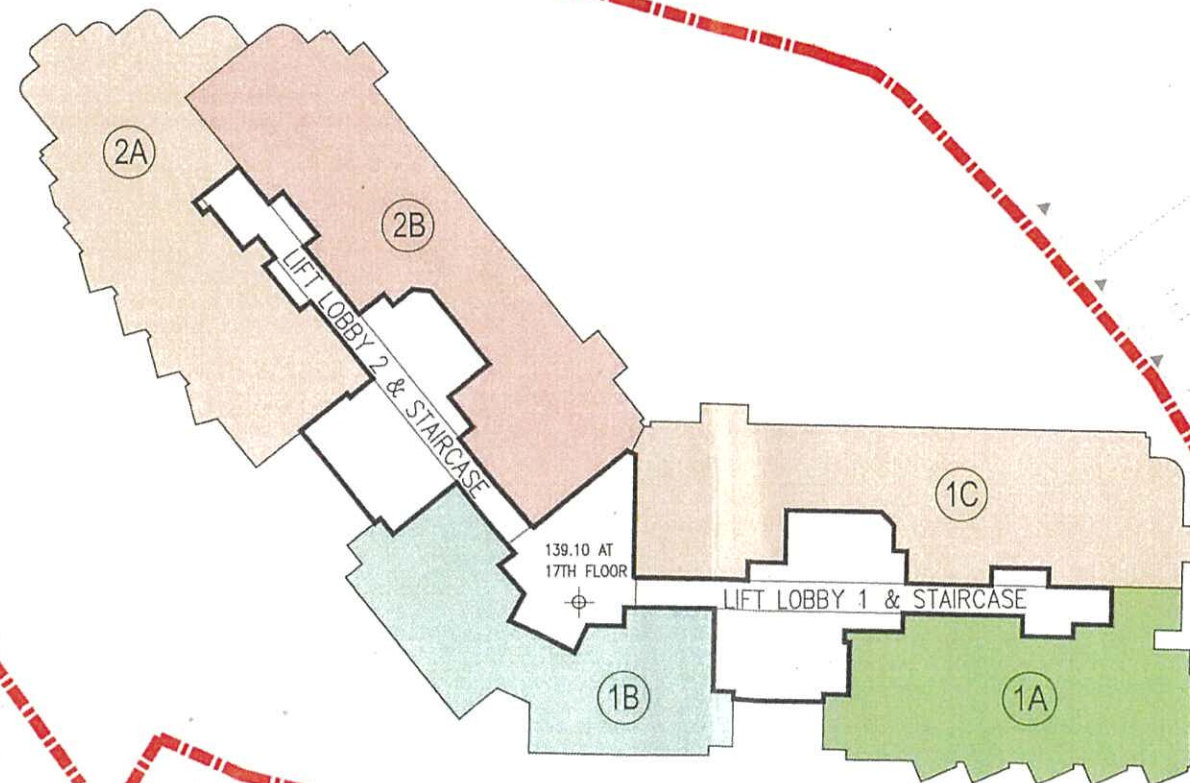
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第 2 座



繼園街

KAI YUEN STREET



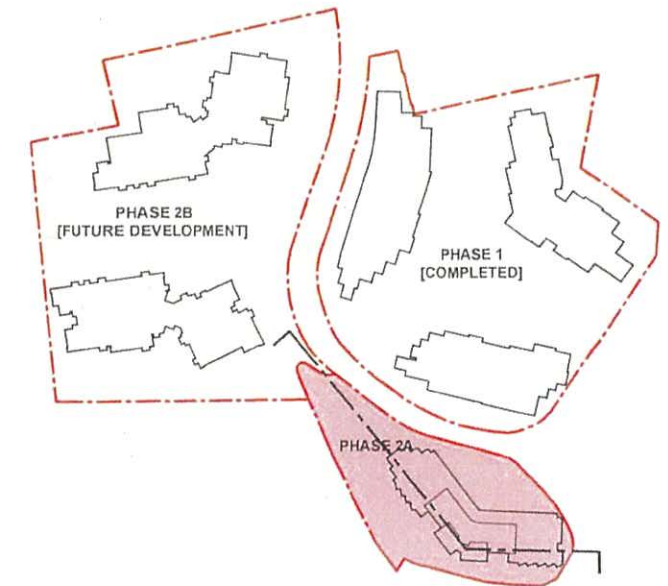
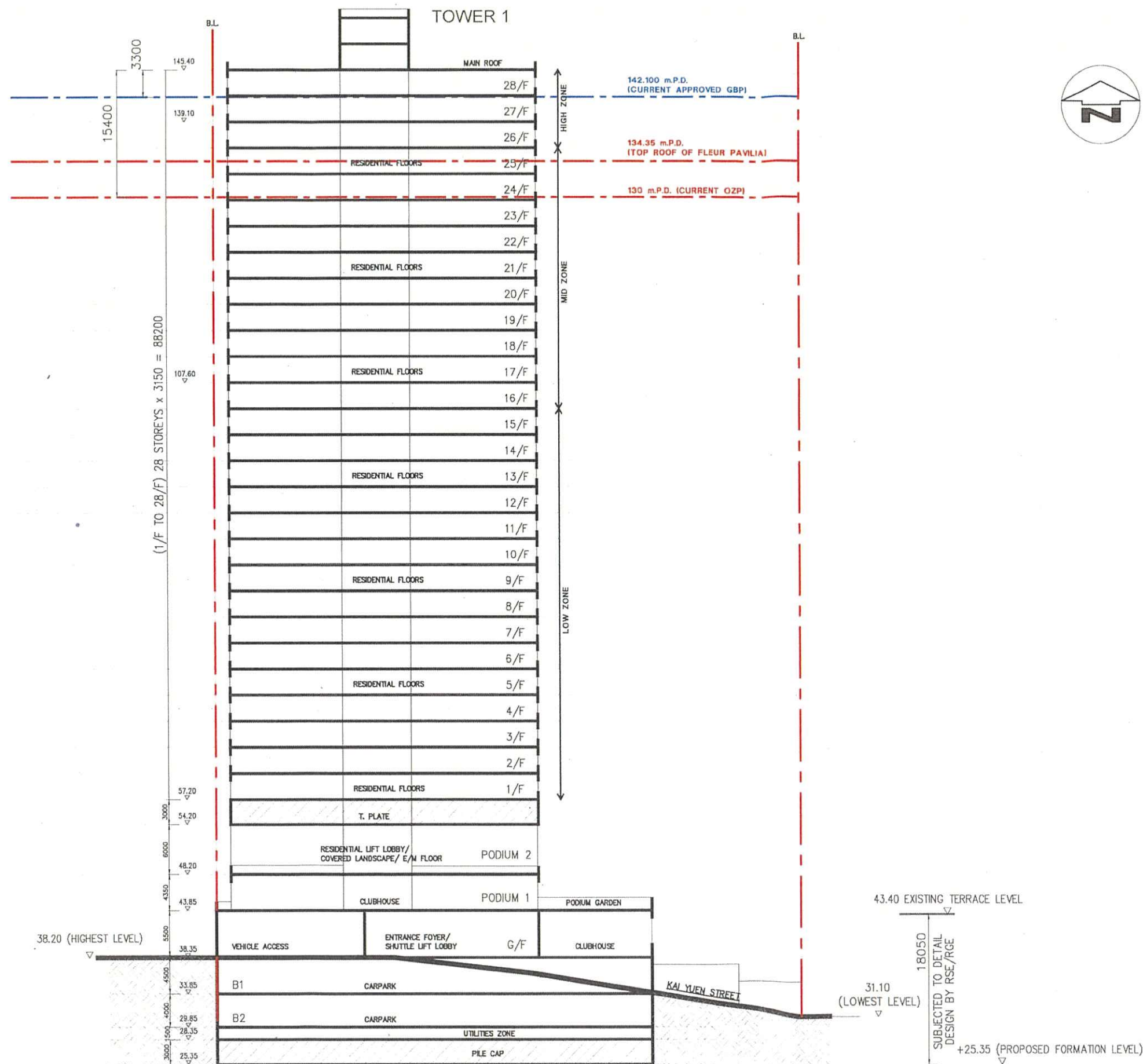
KEY PLAN
SCALE 1 : 2000

PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]

PROJECT NO : K077
DRAWING TITLE : TYPICAL FLOOR PLAN (27TH TO 28TH)
DRAWING NO. : K077/CDA/010
SCALE : 1 : 300
REV : 0

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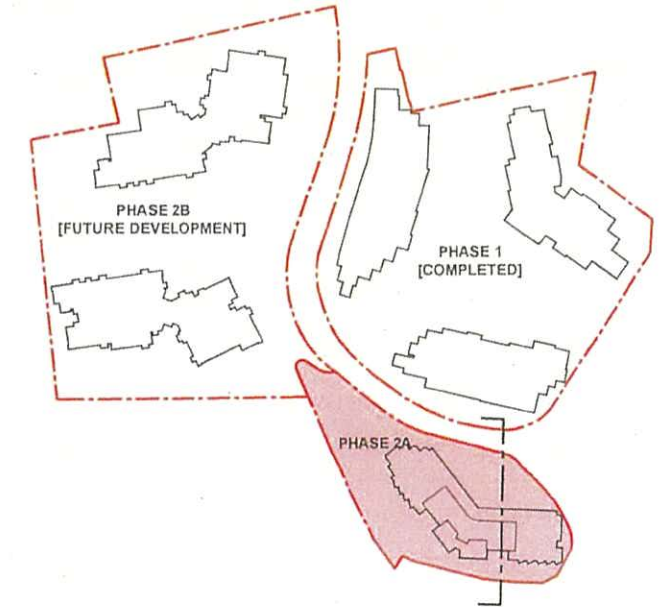
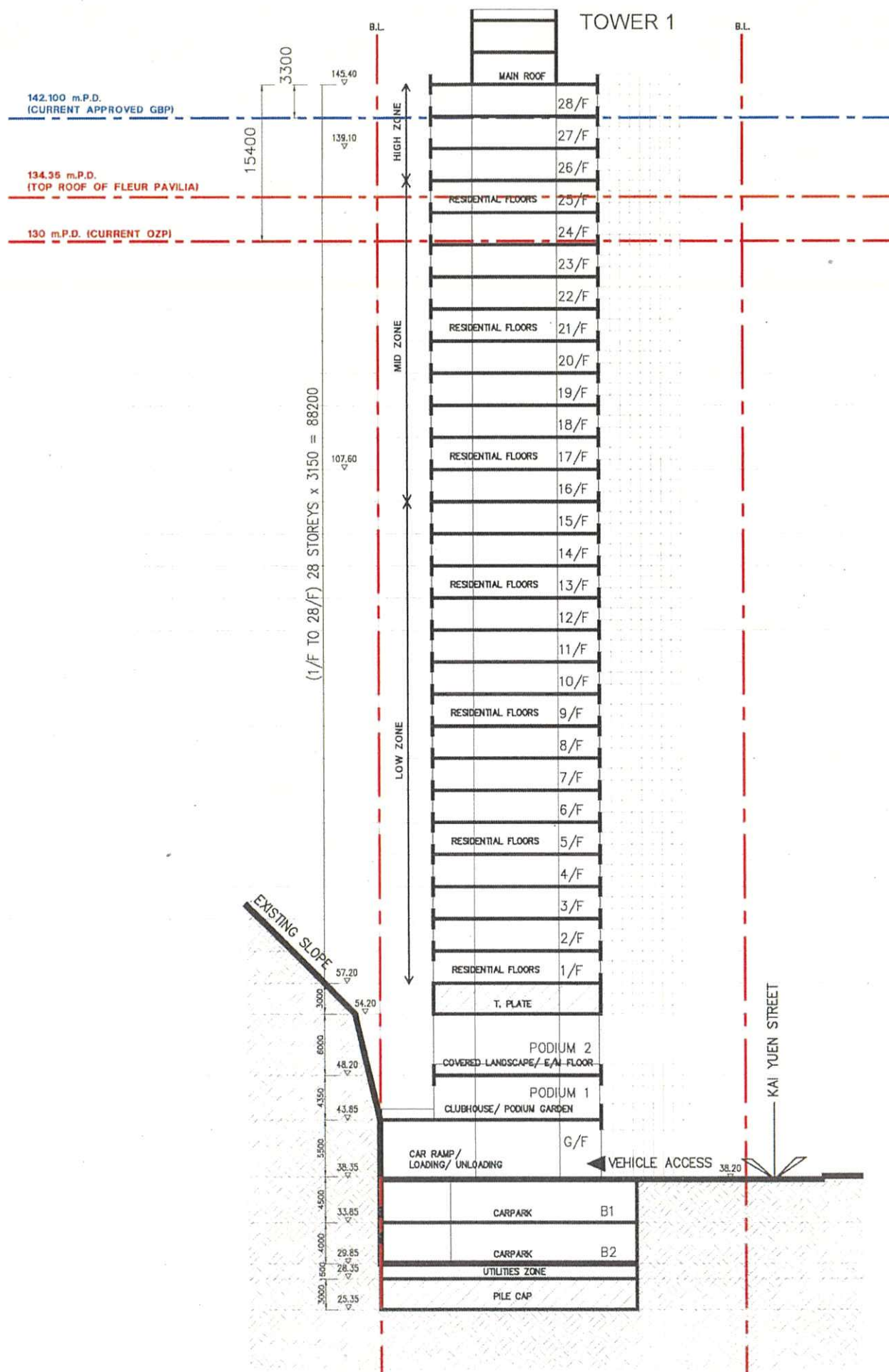
KEY PLAN
SCALE 1 : 2000

**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

PROJECT NO : K077
DRAWING TITLE : SCHEMATIC SECTION 1
DRAWING NO. : K077/CDA/011
SCALE : 1 : 300
REV : 0

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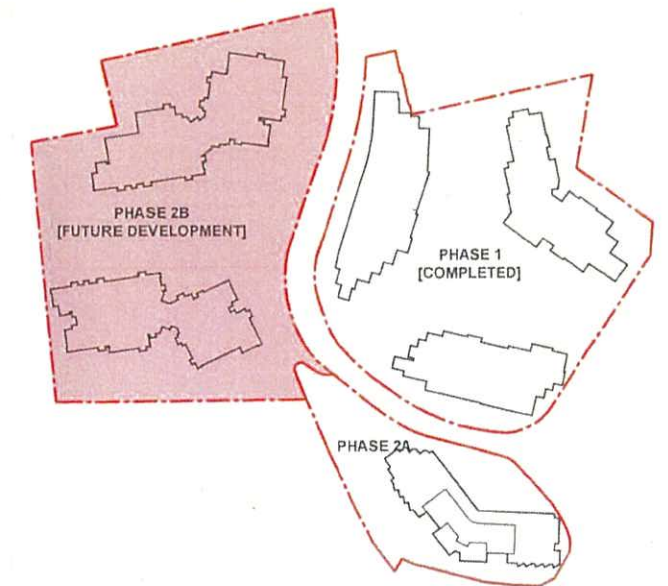
KEY PLAN
SCALE 1 : 2000

**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

PROJECT NO : K077
DRAWING TITLE : SCHEMATIC SECTION 2
DRAWING NO. : K077/CDA/012
SCALE : 1 : 300
REV : 0

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KEY PLAN
SCALE 1 : 2000

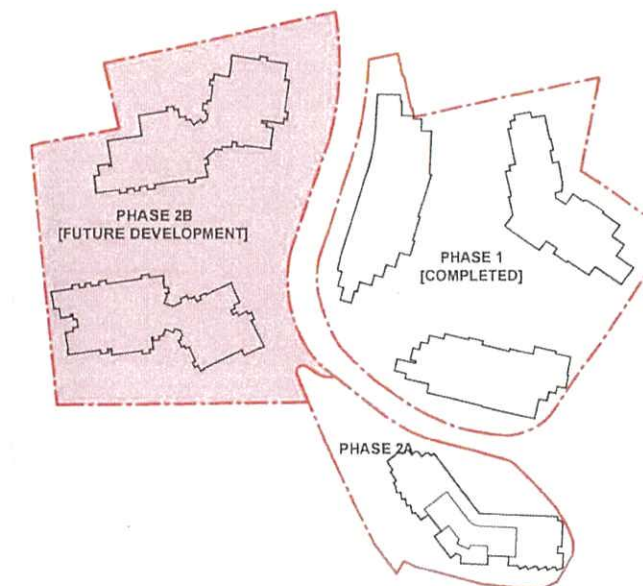
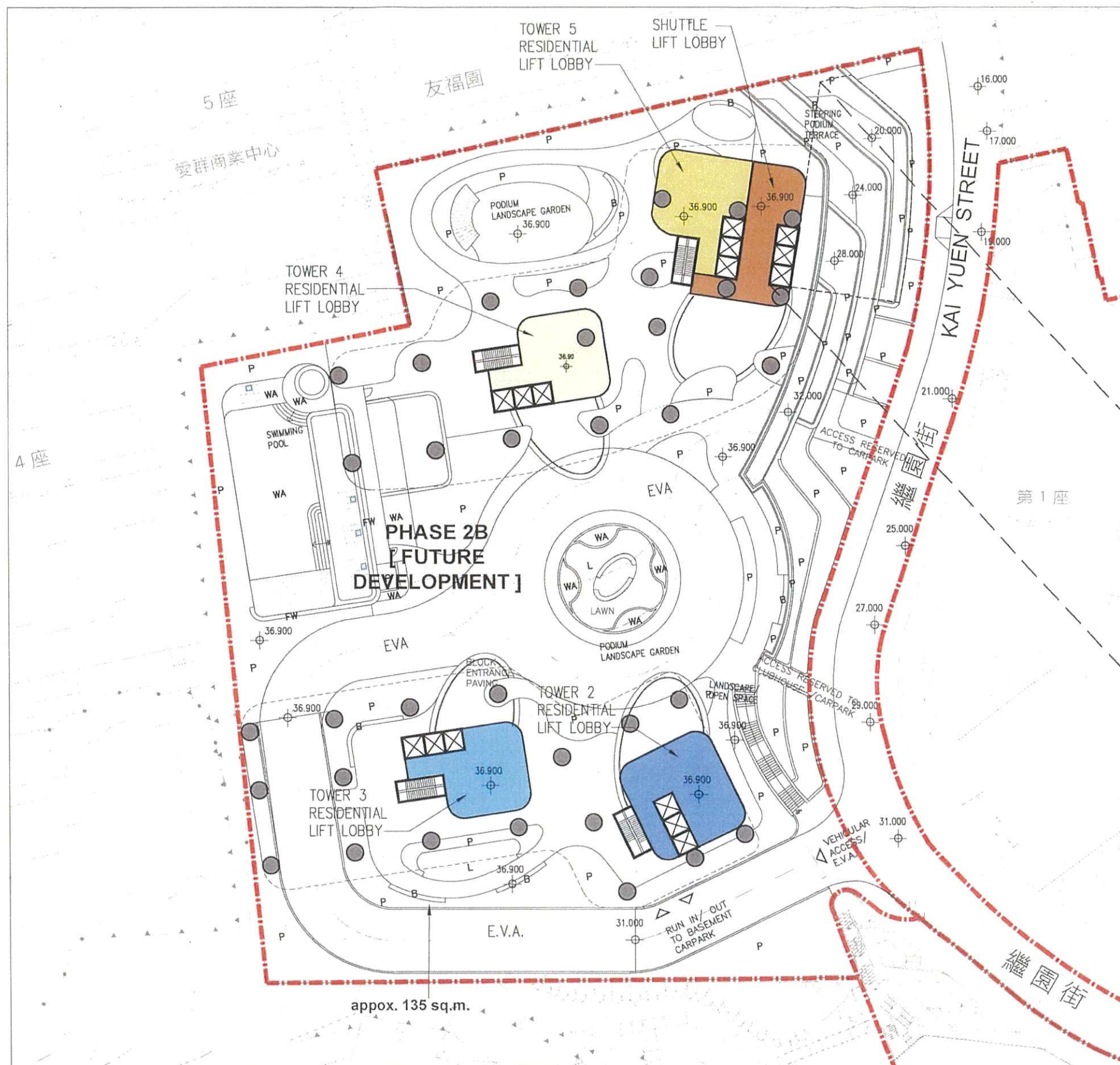
TOTAL FLAT NOS					
	T2	T3	T4	T5	TOTAL
1/F TO 8/F (8 STOREYS)	4	5	6	5	160
9/F TO 28/F (20 STOREYS)	4	5	6	4	380
					540

**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

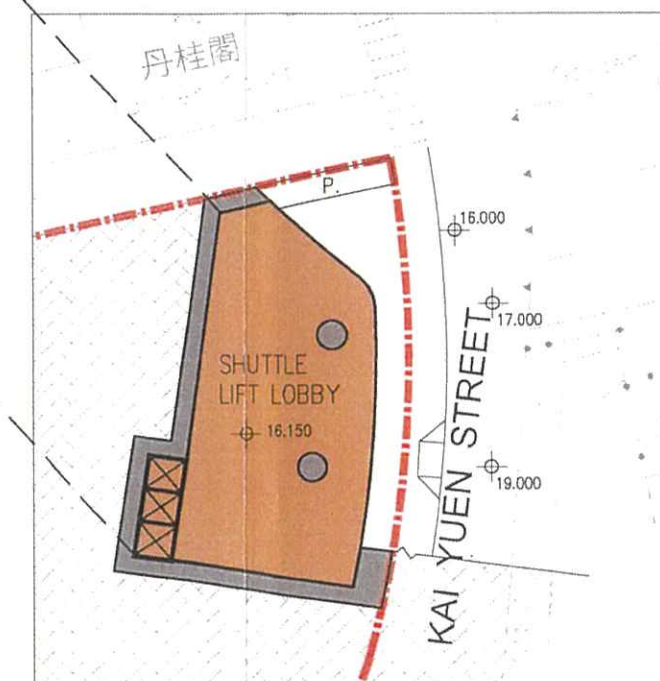
PROJECT NO : K077
DRAWING TITLE : TYPICAL FLOOR PLAN (PHASE 2B)
DRAWING NO. : K077/CDA/013
SCALE : 1 : 500
REV : 25 APRIL 2022

K & W ARCHITECTS LTD
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KEY PLAN
SCALE 1 : 2000



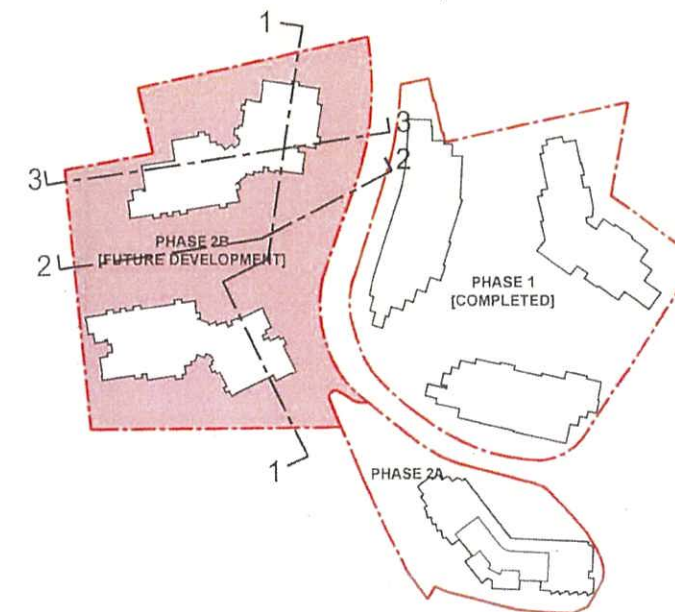
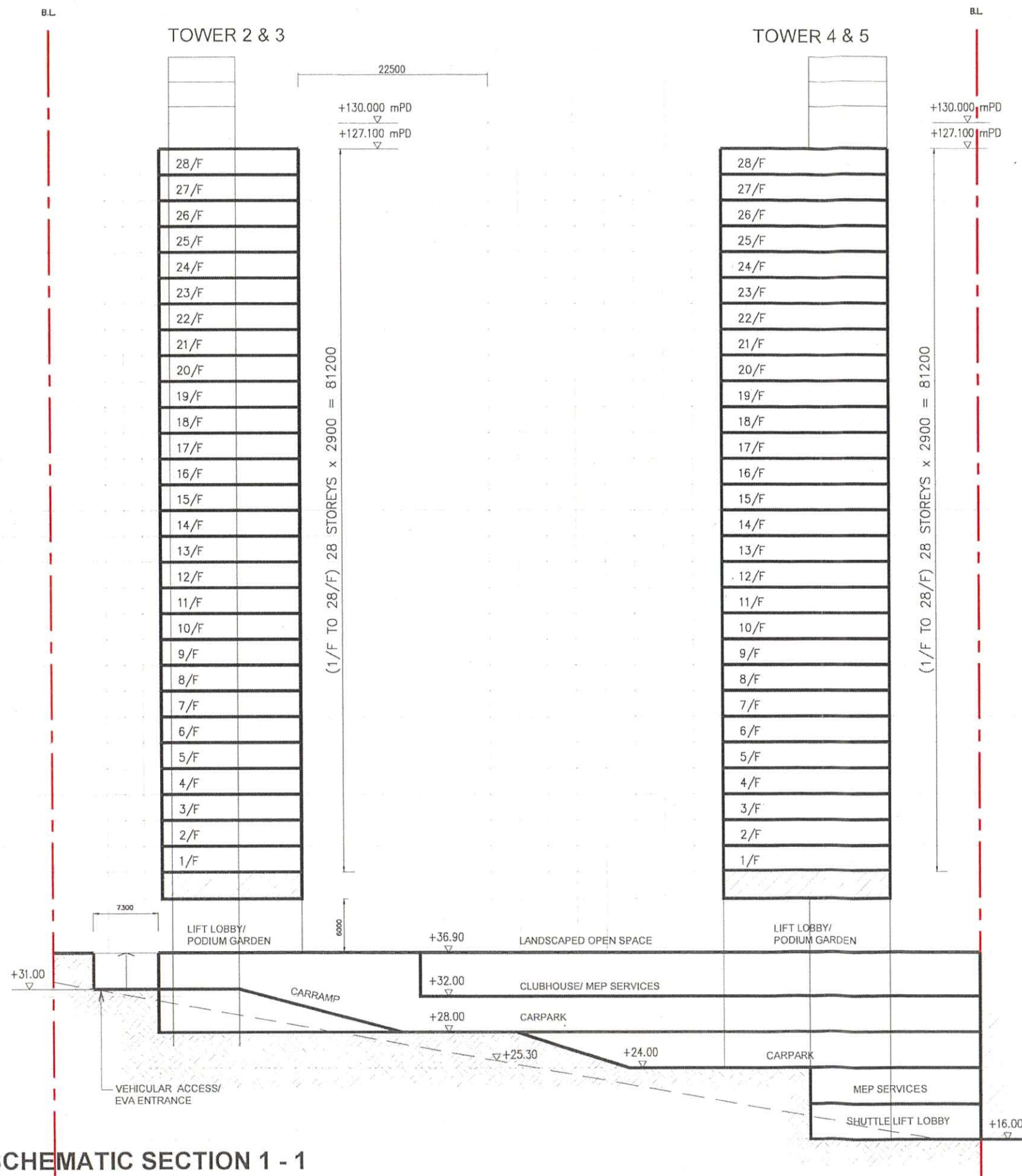
**PART PLAN AT
LEVEL +16.00**

**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

PROJECT NO : K077
DRAWING TITLE : LEVEL +36.90 FLOOR PLAN
DRAWING NO. : K077/CDA/014
SCALE : 1 : 500
REV : 25 APR 2022

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KEY PLAN
SCALE - 1 : 2000

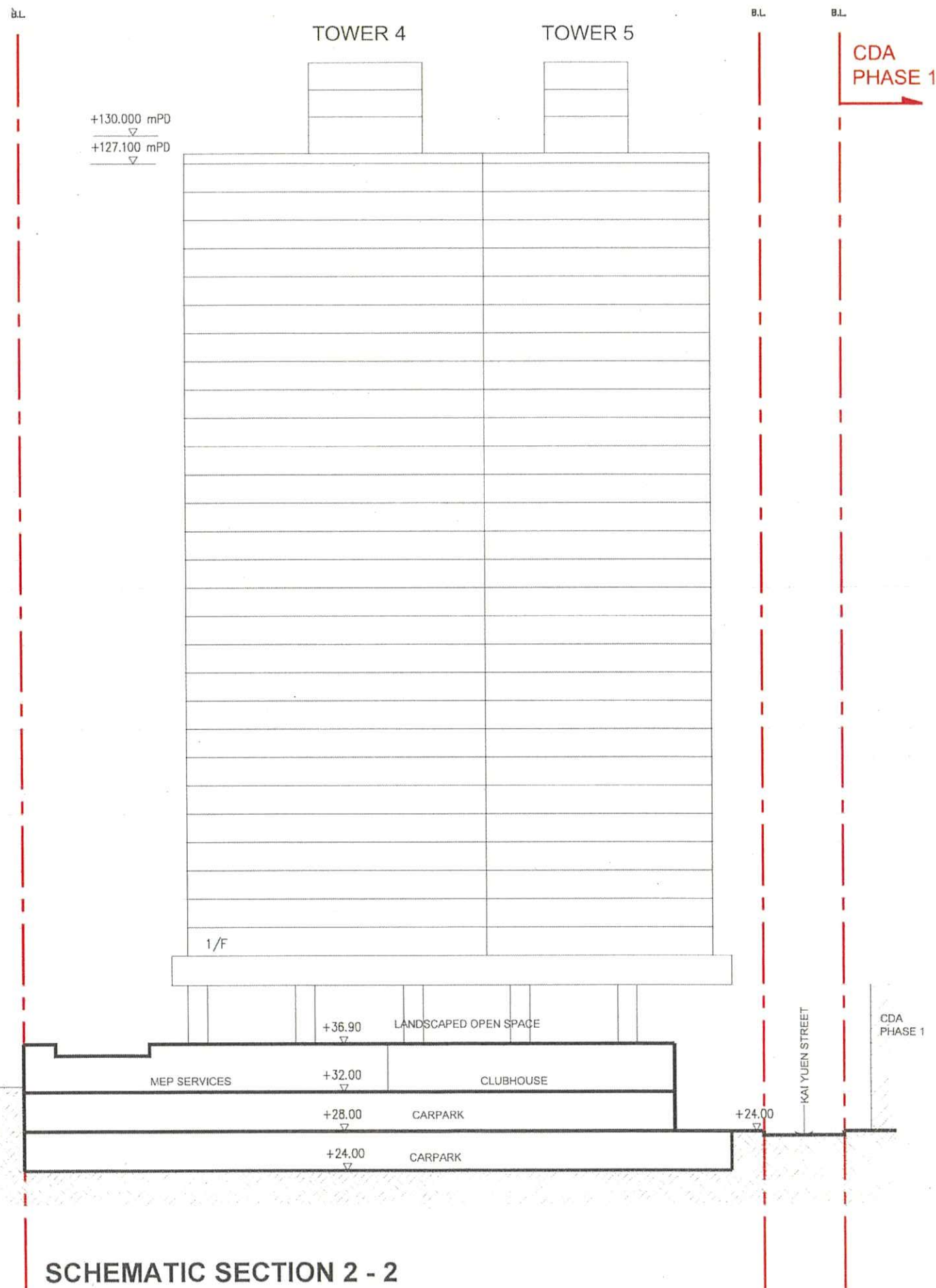
SCHEMATIC SECTION 1 - 1

**PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]**

PROJECT NO : K077
DRAWING TITLE : SCHEMATIC SECTION 1 - 1
DRAWING NO. : K077/CDA/015
SCALE : 1 : 500
REV : 0

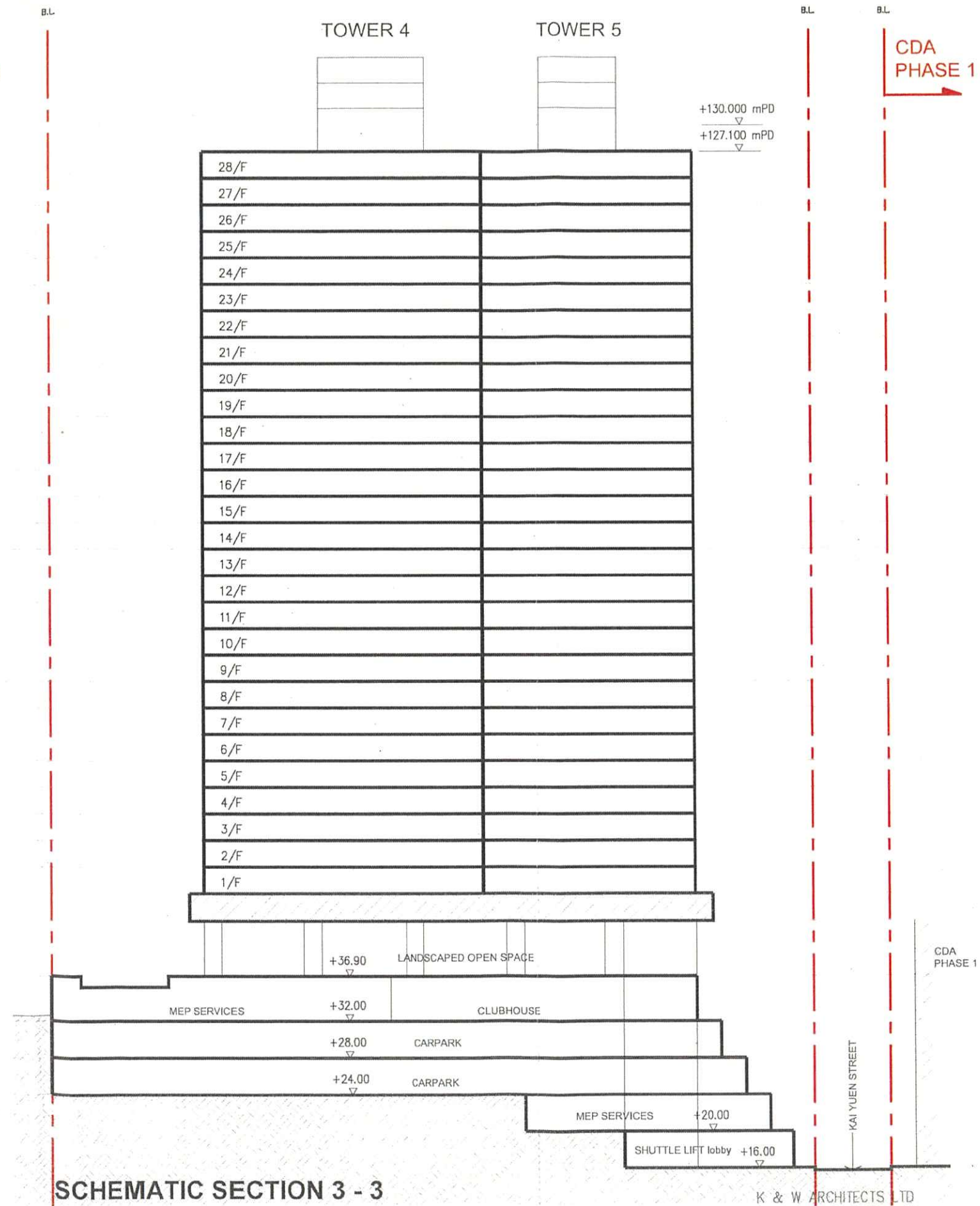
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SCHEMATIC SECTION 2 - 2

PROPOSED COMPREHENSIVE RESIDENTIAL DEVELOPMENT AT
56 - 74 KAI YUEN STREET, NORTH POINT [CDA SCHEME]



SCHEMATIC SECTION 3 - 3

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PROJECT NO : K077
DRAWING TITLE : SCHEMATIC SECTION 2 - 2 & 3 - 3 (PHASE 2B)
DRAWING NO. : K077/CDA/015A
SCALE : 1 : 500
REV : 0



SCALE	AS SHOWN	DATE	APR 2022
CHECKED	ELK	DRAWN	TEAM
FIGURE NO.	FIGURE 1.1		REV



Development Schedule

General	
Total "CDA(2)" Zone Area	15,300 m ²
Development Site Area	15,372 m ²
Total Permissible PR	8
Total Permissible GFA	122,400 m ²
Permissible BH	
Eastern Portion	120mPD
Western Portion	130mPD
Domestic Components	
Total Domestic GFA	124,535 m ²
▪ Eastern Portion (Phase 1)	53,261 m ²
▪ Western Portion	71,274 m ²
Phase 2A@	20,625 m ²
Phase 2B	50,649 m ²
Total Domestic PR (about) @	8.14
Domestic Site Coverage	Not more than 33.3%
Total No. of Flats	1,461
▪ Eastern Portion (Phase 1)	611
▪ Western Portion	850
Phase 2A	310
Phase 2B	540
Total No. of Residential Blocks	8
▪ Eastern Portion (Phase 1)	3
▪ Western Portion	5
Phase 2A	1
Phase 2B	4
Building Height (at main roof level)	
▪ Eastern Portion (Phase 1)	Not more than 125.6mPD
▪ Western Portion	
Phase 2A	Not more than 145.4mPD
Phase 2B	Not more than 127.1mPD
Absolute Building Height (at main roof level)	
▪ Western Portion	
Phase 2A	Not more than 115.55m
No. of Storeys (including entrance lobby, recreational facilities and carpark and/or vehicular entrance)	
▪ Eastern Portion (Phase 1)	31
▪ Western Portion	
Phase 2A	33
Phase 2B	34
Design Population	4,298
▪ Eastern Portion (Phase 1)*	1,833
▪ Western Portion^	2,465
Phase 2A	899
Phase 2B	1,566
Eastern Portion (Phase 1 Development)	
Outdoor Recreational Facilities / Private Open Space	Not less than 2,124 m ²
Internal Transport Facilities Provision #	
▪ Private Car Parking Space	144 (2.5m x 5m)

<ul style="list-style-type: none"> ▪ Visitor Car Parking Space ▪ Motorcycle Parking Space ▪ Pick-up / Drop-off / Taxi Lay-by ▪ L/UL Bay ▪ L/U for Refuse Collection Vehicle 	3 8 (5% of total car parking spaces) 1 3 (1 bay per block) 1
Western Portion (Phase 2A Development)	
Outdoor Recreational Facilities / Private Open Space	Not less than 899 m ²
Internal Transport Facilities Provision <ul style="list-style-type: none"> ▪ Private Car Parking Space ▪ Visitor Car Parking Space ▪ Motorcycle Parking Space ▪ Pick-up / Drop-off / Taxi Lay-by ▪ L/UL Bay ▪ L/U for Refuse Collection Vehicle 	76 (2.5m x 5m) (including 2 accessible car parking spaces) 5 6 2 1 (3.5m x 11m) N/A
Western Portion (Phase 2B Development)	
Outdoor Recreational Facilities / Private Open Space	Not less than 1,566 m ²
Internal Transport Facilities Provision <ul style="list-style-type: none"> ▪ Private Car Parking Space ▪ Visitor Car Parking Space ▪ Motorcycle Parking Space ▪ Pick-up / Drop-off / Taxi Lay-by ▪ L/UL Bay ▪ L/U for Refuse Collection Vehicle 	250 (2.5m x 5m) (including 4 accessible car parking spaces) 20 20 1 4 (1 bay per block) (3.5m x 11m) 1
Notes: @ Including a bonus GFA of about 2,135 m ² to be claimed under Building (Planning) Regulations ("B(P)R") in return for dedication and surrender of setback area to the Government for the purpose of road widening including the provision of a public pedestrian footpath and a turnaround facility for vehicles respectively. * Based on 2006 Population By-census, average domestic household size of 3.0 for Tanner Garden. ^ Based on 2016 Population By-census, average domestic household size of 2.9 for District Council Constituency Area of Tanner (C21). # According to the MLP deposited in the Land Registry in 2016.	

List of Approval Conditions

Application No. A/H8/435

- Application Site : Kai Yuen Street, North Point, Hong Kong
- Subject of Application : Proposed Comprehensive Residential Development with Minor Relaxation of Plot Ratio and Building Height Restrictions (Amendments to an Approved Master Layout Plan) in "Comprehensive Development Area (2)" Zone and area shown as 'Road', Land falling within "Comprehensive Development Area (2)" zone and an area shown as 'Road'
- Date of Approval : 3.2.2023
- Approval Conditions :
- (a) the submission and implementation of a revised Master Layout Plan, taking into account the approval conditions (b) to (k) below to the satisfaction of the Director of Planning or of the TPB;
 - (b) the submission and implementation of a revised Landscape Master Plan and a tree preservation proposal to the satisfaction of the Director of Planning or of the TPB;
 - (c) the design and provision of vehicular accesses, parking facilities, loading/ unloading space, and picking up/setting down facilities for the proposed development to the satisfaction of the Commissioner for Transport or of the TPB;
 - (d) the design and implementation of the road improvement proposal for Kai Yuen Street, including the widening of the upper section of Kai Yuen Street, the surrendering of the private land for turnaround facility at the end of Kai Yuen Street outside Bedford Garden, and other traffic improvement measures for pedestrians, as proposed by you, to the satisfaction of the Commissioner for Transport or of the TPB;
 - (e) the design and implementation of road improvement measures at Tanner Road, Tin Chiu Street, Kai Yuen Street, King's Road, Kam Hong Street and Tsat Tsz Mui Road (i.e. Gyratory Scheme), as proposed by you, to the satisfaction of the Commissioner for Transport or of the TPB;
 - (f) no occupation of Phase 2A development is allowed before the completion of the proposed road improvement works as mentioned in (d) and (e) above;
 - (g) the design and provision of the cautionary crossing outside Phase 2B and the modification of the staircase at the western side of Kai Yuen Street into the footpath with minimum width of 2.75m outside Phase 2B, as proposed by you, to the satisfaction of the Commissioner for Transport or of the TPB;

- (h) no occupation of Phase 2B development is allowed before the completion of the proposed road improvement works as mentioned in (g) above;
- (i) the submission of an updated noise impact assessment and the implementation of the noise mitigation measures identified therein to the satisfaction of the Director of Environmental Protection or of the TPB;
- (j) the provision of water supplies for firefighting and fire service installations to the satisfaction of the Director of Fire Services or of the TPB; and
- (k) the submission of a natural terrain hazard study and the implementation of the mitigation measures recommended therein to the satisfaction of the Director of Civil Engineering and Development or of the TPB.